

WEST MARTIN

**WORKSHOP OUTCOMES REPORT
(Precincts 3,4 & 5)**

July 2004

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1.0 INTRODUCTION

The future of the West Martin area has been the subject of significant discussion, involving the City of Gosnells, the West Martin Consultation Group, the West Martin Rural Group, landowners and relevant government agencies.

In mid 2004, the City in conjunction with the West Martin Consultation Group hosted a series of landowner workshops in the West Martin Area. The purpose of this report is to provide a summary of the workshop proceedings and outcomes. This document is intended to be used as a reference document for further discussion and land use planning.

2.0 HISTORY OF PLANNING

The West Martin area has been identified as being ideally located for urban development for some time now by the Western Australian Planning Commission. In particular:

- The Urban Expansion Policy Statement for the Perth Metropolitan Region (November 1990) identified the land as Future Urban Category A – relatively unconstrained for development, movement of development front;
- The South East Corridor Structure Plan prepared by the Department of Planning and Urban Development (1994) identified the southern portion of the site for Urban Development;
- Planning for the Future of the Perth Metropolitan Region Report to the State Planning Commission identified the subject land as being a future urban development area;
- Metroplan prepared by the (then) Department of Planning and Urban Development, December 1990, identified the study area as “Future Potential Urban Land”; and
- Land south of Mills Road West was included in the Urban and Urban Deferred Zones of the Metropolitan Region schemes as part of a major amendment.

In 2000, the City engaged consultants, Taylor Burrell, to undertake a preliminary study to examine the potential for urban development in West Martin, and in line with the brief, a consultation process was commenced. A report presenting the outcomes of the community consultation and design options, entitled “West Martin Project – Submission to Examine Urban Zoning under the Metropolitan Region Scheme” was presented to Council in September 2000. This report resulted in significant amount of input from the local community.

In response to the significant level of community interest and concern expressed at the Council meeting, Council established a Consultation Group in April 2001, comprising 8 community representatives, four of which were representations from the independently formed West Martin Rural Group. The West Marin Consultation Group has met regularly since its establish to discuss areas of concern to the West Martin community and their preference s for the area.

Council in conjunction with the West Martin Consultation Group considered the most appropriate way to progress the planning for the West Martin area was on a precinct basis and that the ODP involve community workshops for each precinct. This approach was considered to be the most appropriate way to enable community input and consideration of issues specific to each precinct. A copy of the established Precincts is shown on the following page.

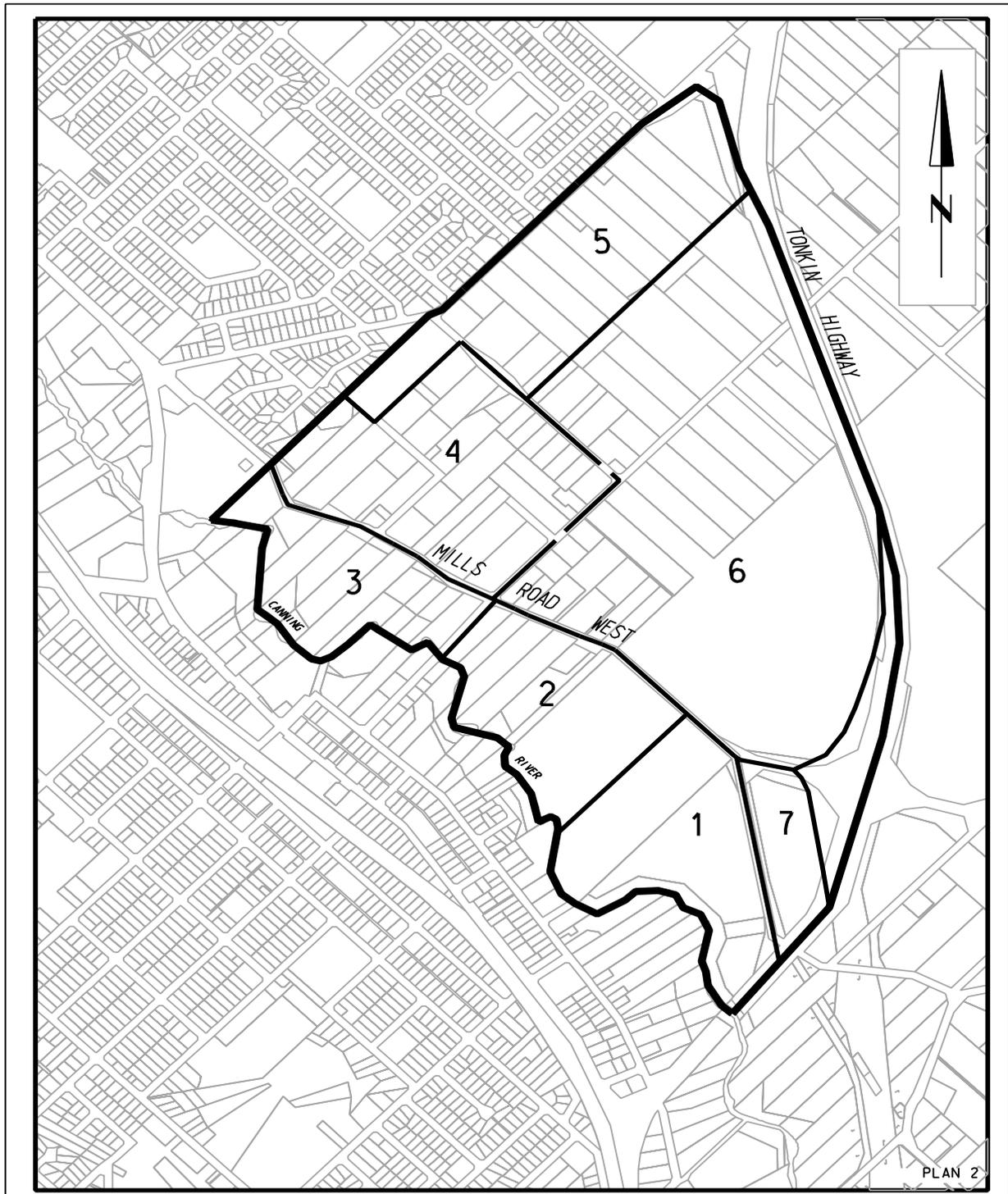


Figure 1: West Martin Precincts

In previous years, a number of studies were carried out to identify potential constraints to further development of “sensitive” land uses in the West Martin Area, including additional residential dwellings.

The main sources of noises included the Tonkin Hwy and the Readymix Quarry operations. The quarry is also the main source of odour and dust emissions, however, there are other local sources of dust in the area. Of these three potential environmental impacts, dust emissions were identified as the one that required the most attention. A dust study was carried out by Sinclair Knight Mertz (SKM) Consultants in early 2002. The study recommended a buffer area, which extended into the West Martin area, be applied as a basis for future land use planning decisions. The purpose of identifying a buffer area was to determine the area of West Martin which may not be suitable for any development which involves sensitive land uses, such as residential development.

An additional dust study is being progressed through the Quarry Buffer Definition Working Group, established by the Department for Planning and Infrastructure. This additional study is aimed at providing robust scientific information as a basis for future land use planning decisions and the identification of an appropriate buffer.

The buffer recommended by SKM has been used to determine which precincts are considered unconstrained by dust emissions and in which land use planning can reasonably be progressed in the short-term. Precincts 1,2, 6 and 7 are not able to be progressed at this time until further information becomes available. The City is keen to see the appropriate studies completed at the earliest opportunity.

Based on the above, the City has commenced discussion with the consultation group and landowners in Precincts 3,4 and 5 through a series of landowner workshops. The following sections outline the proceedings and key findings from the workshops.

3.0 WORKSHOP PROCEEDINGS

As outlined in Section 2 of this report, the City of Gosnells in conjunction with the West Martin Consultation Group identified the need to progress the planning for West Martin on a precinct basis. Council at its meeting of 24 June 2003 considered the future planning for the West Martin Area and passed the following resolutions:

Resolution 403

“That Council seek the West Australian Planning Commission initiate an amendment to the Metropolitan Region Scheme to rezone land generally bounded by the Canning River, Tonkin Hwy and Gosnells Road West, West Martin from “Rural” to “Urban Deferred” as shown in Appendix 12.5.8A.”

Resolution 404

“That Council approve the initiation of a staged Outline Development Plan for West Martin based on the precincts identified in Appendix 12.5.8A.”

Resolution 405

“That Council note the progress of the West Martin Consultation Group to date, and than members for their contribution.”

Following the above resolutions of Council, a newsletter was distributed to all landowners and a landowner information session held at the City of Gosnells in September 2003. Landowners were advised of the rationale for planning on a precinct-basis and the opportunities that would likely exist for them to become in helping shape the future of the West Martin area.

Figure 2 on the following page outlines the format for the three landowner workshops. An identical format was used for each Precinct. The following sections outlined the proceedings and key outcomes from the workshops for Precincts 3,4 and 5. The stated objective for each workshop was as follows:

To inform the community in order to assist them to identify design strategies and principles that reflect their agreed community values.”

Based on previous landowner consultation in the West Martin area, the following values had been identified across all of the different precincts:

- Rural lifestyle
 - peace and quiet - a refuge from the rest of the world
 - Area is unique - fresh air, open space and “roominess” so close to city
 - Traditional roots - family connections through the generations
 - Closest area of large acreage to the City
 - Convenient - easy access to Perth, Airport, Gosnells Town Centre and the Canning River
 - Close to rail transport
 - Freedom from planning restrictions
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- Ability to keep livestock - equestrian activities
- Community values current mix of uses - residential/commercial/agricultural
- Sense of community - village atmosphere - spirit of cooperation
- Large block size - 0.5 - 1 acre
- Natural environment - parks, Ellis Brook, Canning River
- Fauna and flora - trees and birds - hedges on Mills Rd
- Healthy, active, lifestyle for adults and children

<p>West Martin Precinct Workshop</p>	<p>Purpose of the Workshop</p> <p><i>To inform the community in order to assist them to identify design strategies and principles that reflect their agreed community values</i></p>
<p>Agreed Community Values</p> <ul style="list-style-type: none"> → Rural lifestyle - peace and quiet - a refuge from the rest of the world → Area is unique - fresh air, open space and 'roominess' so close to city → Traditional roots - family connections through the generations → Closest area of large acreage to city → Convenient - easy access to Perth, Airport, Gosnells Town Centre and the Canning River 	<p>Agreed Community Values</p> <ul style="list-style-type: none"> → Close to rail transport → Freedom from planning restrictions → Ability to keep livestock - equestrian activities → Community values current mix of uses - residential/commercial/agricultural - harmonious → Sense of community - village atmosphere - spirit of cooperation
<p>Agreed Community Values</p> <ul style="list-style-type: none"> • Large block size - 0.5 - 1 acre • Natural environment - parks, Ellis Brook, Canning River • Fauna and flora - trees and birds - hedges on Mills Rd • Healthy, active, lifestyle for adults and children ○ Are there any other values you wish to add? 	<p>Ranking of Community Values</p> <ul style="list-style-type: none"> → As a group, you are to determine the seven most important Community Values and place your rankings on the forms on your table. → Place a number one against the most important Value to your group and rank down to seven → When completed place the rankings against the list on the white board.
<p>Designs for your Precinct</p> <ul style="list-style-type: none"> → Now we need to review your Key Community Values and how we can use planning strategies to address them. → Using the butchers paper in front of you list each Key Community Value at the top of a sheet → Underneath the Value link your preferred design strategy/strategies 	<p>West Martin Precinct 5 Workshop</p> <p>Thank you for your valuable time and commitment to your community.</p> <p>Your ideas and input into this are valued by the Committee and the City of Gosnells.</p>

FIGURE 2: WORKSHOP PROCEEDINGS

3.1 PRECINCT 3 – 7 APRIL 2004

As shown in figure 1, Precinct 3 is bounded by the Canning River, Ellis Brook, Station Street and Mills Road West. The land is predominantly zoned “Urban” under the Metropolitan Region Scheme and “Residential R17.5” under the City of Gosnells Town Planning Scheme No.6. Under the 2001 recommended development plan, the area was identified as have the potential for development at density of R20/30, with a residential/mixed use interface to Mills Road West.

At the workshop, the majority but not all of the landowners were in attendance. In addition to the community values that were common across the locality of West Martin, notable matters that were discussed at the workshop included:

- the current zoning of the land, as both a constraint and/or opportunity to future development options;
- the interface between properties and Pioneer Park/Canning River – from both an enjoyment and security perspective;
- the need to protect the natural environment;
- the potential for Mills Road West to be upgraded in the future, including function, interface etc;
- the financial feasibility of land development, particularly at low densities; and
- the likelihood of residential properties needing to be connected to a reticulated wastewater network, due to proximity to the Canning River.

3.2 PRECINCT 4 – 28 APRIL 2004

As shown in figure 1, Precinct 4 is to the east of Mills Road West, incorporating the lower portions of Ellis Brook. The land is predominantly zoned “Rural” under the Metropolitan Region Scheme and “General Rural” under the City of Gosnells Town Planning Scheme No.6. Under the 2001 recommended development plan, the area was identified as having the potential for further subdivision to a lot size not less than 2,000 square metres (ie. R5)

At the workshop, the majority but not all of the landowners were in attendance. In addition to the community values that were common across the locality of West Martin, notable matters that were discussed at the workshop included:

- the intensity of future development, whether to maintain the status quo, half-acre lots or conventional residential densities;
 - the protection of remnant vegetation;
 - the need to protect the Ellis Brook and provide a mechanism to purchase the land from private ownership;
 - the potential to enhance the Ellis Brook into a “linear park”, however need to carefully consider property and personal security;
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- the need to protect the natural environment, and
- the likelihood of residential properties needing to be connected to a reticulated wastewater network, due to proximity to the Ellis Brook.

3.3 PRECINCT 5 – 19 MAY 2004

Precinct 5 is generally bounded by the Lewis Road, Ellis Brook, Tonkin Hwy and Gosnells Road West. The area is zoned “Rural” under the Metropolitan Region Scheme and “General Rural” under the City of Gosnells Town Planning Scheme No.6. Under the 2001 recommended development plan, the area between Gosnells Road West and Ellis Brook was identified as having the potential for future development to a density of R20/30, with the Ellis Brook to form the basis of a linear section of public open space.

At the workshop, the majority but not all of the landowners were in attendance. In addition to the community values that were common across the locality of West Martin, notable matters that were discussed at the workshop included:

- the intensity of future development, whether to maintain the status quo, half-acre lots or conventional residential densities;
 - the relationship between this area and the existing Maddington residential areas;
 - the extent to which Precinct 5 possessed the “uniqueness” of the remainder of West Martin.
 - the need to protect the Ellis Brook and provide a mechanism to purchase the land from private ownership;
 - the potential for Ellis Brook to provide a “transition” between the different Precincts;
 - the potential to enhance the Ellis Brook into a “linear park”, however need to carefully consider property and personal security;
 - the likelihood of residential properties needing to be connected to a reticulated wastewater network, due to proximity to the Ellis Brook.
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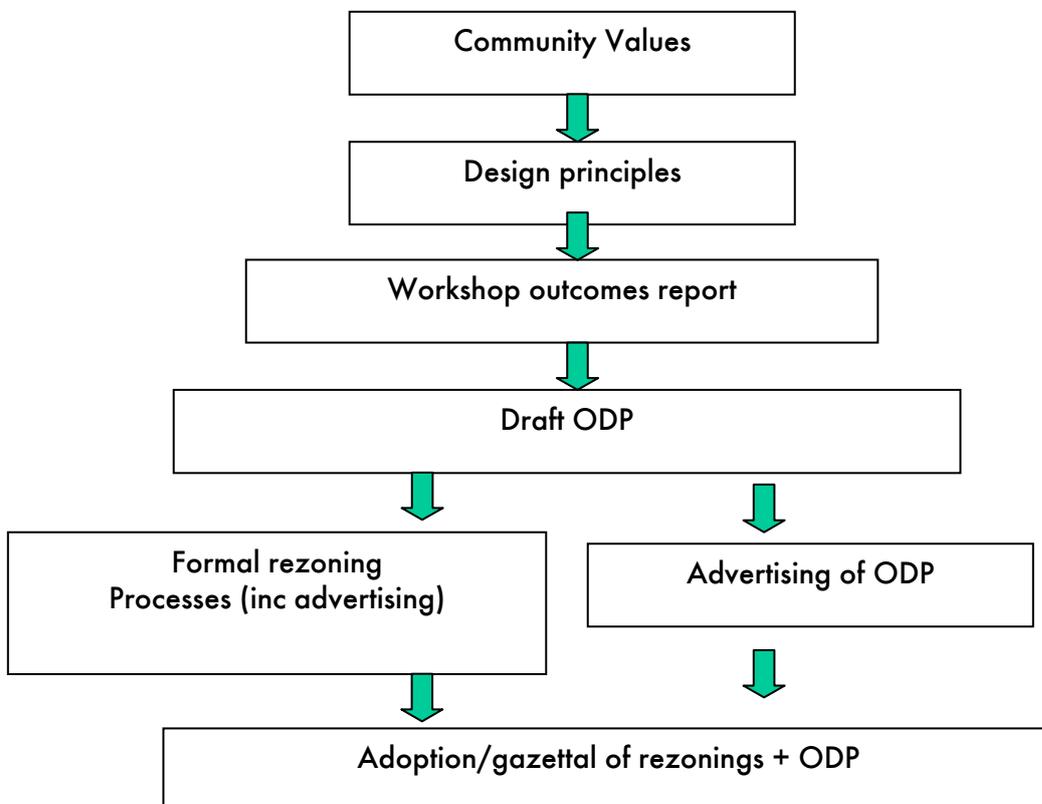
4.0 OVERALL SUMMARY/CONCLUSIONS

From the three landowner workshops, the following provides an overall summary:

- There is general support from landowners in Precincts 3, 4 and 5 to progress discussions and planning for the future of West Martin and ultimately provide greater certainty for landowners. This, however, is separate to the future form and function of the area.
 - There was general agreement with the community values that had previously been identified. The overall intent to keep the locality of West Martin “special” was generally supported.
 - Mixed views were expressed about future development densities in the West Martin area, including R5 (2000m² lots) through to R30 (~300m² lots). There was general support for Special Residential R5 development to the east of Ellis Brook, with a greater diversity of view for Precincts 3 (adjacent to the Canning River) and Precinct 5 (between Ellis Brook and Gosnells Road West). Further discussion with the community and technical investigation will be required with regards to “sense of place”, integration with surrounding areas, environmental conditions and economic feasibility.
 - There has been an identified need to undertake more detailed discussion on a precinct basis, with the West Martin Consultation Group and landowners, to ensure that the interests of local landowners are reflected in future plans and that site-specific conditions could be properly addressed.
 - In planning for the future of West Martin, a significant number of issues will need to be addressed. Addressing environmental, social and economic matters will be critical.
 - The finalisation of planning for the West Martin area will require broad support from the local community, Council and relevant government agencies.
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5.0 WHERE TO FROM HERE?

At the conclusion of each of the three workshops, there was discussion about the future of planning for the West Martin Area. The following flowchart was presented to landowners to illustrate how the workshop proceedings would “feed in” to the overall planning process. The City in conjunction with the West Martin Consultation Group will need to progress investigations into both broad and detailed matters. It is envisaged that a range of design options will be prepared for each Precinct and presented back to landowners for preliminary review prior to being formalised in the context of an Outline Development Plan.



APPENDIX A: AERIAL PHOTOGRAPH OF WEST MARTIN

APPENDIX B: WEST MARTIN NEWSLETTER #4 – “A PRECINCT BASED APPROACH TO PLANNING”

APPENDIX C – 2001 RECOMMENDED DEVELOPMENT PLAN